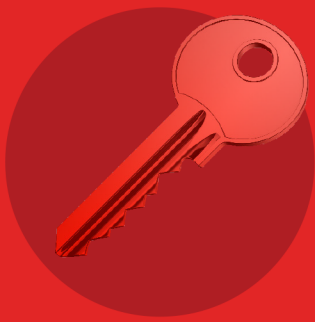




RED LBP PRE-PURCHASE REPORT

- ✓ Completed by a trade professional
- ✓ Complies with NZS 4306:2005 Residential Property Inspection
- ✓ Full comprehensive written report
- ✓ Non-invasive moisture testing
- ✓ Floor level spot checked
- ✓ Summary identifying any significant faults or defects



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PRE-PURCHASE



YOUR INSPECTOR



Gary Cassidy

Red LBP Inspector for North Canterbury

- ☎ 0272 416 950
- ✉ gary.cassidy@redinspect.co.nz
- f /redlbpnorthcanterbury
- 📷 /redlbp.northcanterbury

- ✓ **Licensed Building Practitioner (LBP) & Certified Builder**
- ✓ **35+ years in the Building Industry**
- ✓ **Specialist in Pre-Purchase & Pre-Sale Inspections**
- ✓ **Healthy Homes Assessments & detailed Building Reports**
- ✓ **20+ years running a successful building business**
- ✓ **Clear communication & honest advice**
- ✓ **Proudly serving the North Canterbury region**

Hi, I'm Gary — your trusted building inspector.

With over 35 years in the building industry, I bring a depth of experience across all aspects of residential construction — from new builds to renovations. Over the years, I've developed a strong understanding of how homes are built, along with the ability to identify potential issues that others might overlook.

As a Licensed Building Practitioner (LBP) and Certified Builder, I'm fully qualified to carry out Pre-Purchase and Pre-Sale Inspections, Healthy Homes Assessments, and detailed Building Reports. I pride myself on clear communication, honest advice, and delivering a high standard of service you can rely on.

I work throughout North Canterbury and bring more than 20 years of experience running my own successful building business. I'm approachable, practical, and here to help you make well-informed property decisions with confidence.

When I'm not on the job, you'll find me spending time with my wife Deb and our grown-up kids, catching up with friends, cheering on my favourite sports teams, brewing a batch of craft beer, or enjoying everything North Canterbury has to offer.

ABOUT RED LBP

Red LBP is New Zealand's trusted network of experienced, Licensed Building Practitioners. We provide thorough, independent property inspections, ensuring buyers and homeowners have the knowledge they need to make informed decisions. With a commitment to quality, compliance, and customer confidence, Red LBP inspectors uphold the highest standards in the industry.

For more information, visit redlbp.co.nz.

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PRE-PURCHASE BUILDING REPORT

Property Address	25 Flemington Avenue, North New Brighton, Christchurch 8083
Client	Renata and Helio.
Date of Inspection	24th September 2025
Time	2:00 pm
Inspector	Gary Cassidy Advanced Trade Certificate Carpentry & Joinery. Licenced Building Practitioner.
LBP Number	BP111186
People Present	Inspector, Agent
House Occupied	Staged



CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

Company: GDDC Ltd trading as RedLBP NC.
Client: Renata and Helio.
Date of Inspection: 24th September 2025
Site Address: 25 Flemington Avenue, North New Brighton, Christchurch 8083
Inspector: Gary Cassidy
Qualifications: Advanced Trade Certificate Carpentry & Joinery. Licenced Building Practitioner.

The following areas of the property have been inspected:	Yes	No	Limited	N/A
Site	☒	☐	☐	☐
Subfloor	☐	☐	☒	☐
Exterior	☒	☐	☐	☐
Roof Exterior	☐	☐	☒	☐
Roof Space	☐	☐	☒	☐
Interior	☒	☐	☐	☐
Services	☒	☐	☐	☐
Accessory Units, Ancillary Spaces and Buildings	☒	☐	☐	☐

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Gary Cassidy **Date:** 24th September 2025

Signature:  (for and on behalf of RED LBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

SCOPE OF REPORT, LIMITATIONS & CONDITIONS

PRE-PURCHASE BUILDING REPORT

The report should be seen as a reasonable attempt to identify any Significant Fault or Defect visible at the time of the visual Inspection rather than an all-encompassing report dealing with the home from every aspect. The reporting of any Significant Fault or Defect is on an exceptional basis, rather than reporting on items, which are in acceptable condition for their age.

"Significant Fault or Defect" is defined in the Standards as – "A matter which requires substantial repairs or urgent attention and rectification."

A Significant Fault or Defect will be addressed in the Executive Summary section of the report as maintenance or remedial work.

This report type is to identify the structural aspects of the dwelling, and report on the type, location, and defects/damages of each aspect. It is not designed to replace the input from an engineer, however, will highlight any items that require further investigation from other professionals.

This report is designed to satisfy the requirements of lenders and homeowners that the property will fulfil the requirements of the Standards.

This report is not a defects list and should not be construed as such. The property report does not contain any assessment in relation to any item which is subject to a special purpose report (items will be mentioned as they are part of the property).

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

GENERAL

The Report is to be used by the Client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing Report dealing with the Premises from every aspect. This report should be seen as a general guide from a trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase, rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective.

The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property.

Weathertightness – This will be considered regardless of age, however it will not be measured against appendix A of the Standards or to E2/AS1 of the Building Code, Matrix and Evaluation, as this would be subject to a specialist report.

Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the (LBP) Licenced Building Practitioner completing the report and there may be cause for variation.

Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection.

In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection, moving of furniture, appliances or stored items, or excavation.

The report is valid only for the day of the inspection, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the Client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

All reports are prepared and completed by an independent franchisee of RedLBP Limited. RedLBP Limited operates solely as the franchisor and is not responsible for the quality or accuracies of the output of its franchisees.

[RedLBP T&C's](#)

EXECUTIVE SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type.

NZS 4306:2005

3.2 The Property Report

A property report supplied by the inspector shall include the following

(I) A summary which includes an opinion as to the overall condition of the dwelling in the context of its age, type and general expectations of similar properties.

For further detail regarding the overall condition rating, refer to the Conclusion at the bottom of the report.

The dwelling was originally built in the 1980s with an alterations and renovation, including but not limited to, most areas of the house.

We recommend checking the records of the BCA: Building Consent Authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

Areas not inspected or accessed fully:

Roof space - Was only viewed from the access point.

Subfloor - Was only viewed from the access point.

Roof system - Was only viewed from the ladder.

Upper levels exterior cladding & joinery - The accessible areas were only viewed from a ladder.

Every effort will be made to carry out a safe and thorough inspection; however, inaccessible areas will be assessed from the best possible vantage point, with photographs taken to document all visible areas.

This Executive Summary identifies significant faults and defects and significant deferred maintenance only.

Less significant items are recorded within the relevant sections of the report and are not summarised here.

Refer to the relevant sections for details

PROPERTY IDENTIFIERS

Address	25 Flemington Avenue, North New Brighton, Christchurch 8083
Legal Description	Lot 79 DP 3484
Certificate of Title	CB26K/366
Land classification	Wind Zone - Medium (BRANZ - GIS). Residential Suburban. Land Technical Category Three TC3
Weather	Fine
Soil	Dry
Site Exposure	Sheltered

BUILDING DESCRIPTION

The property was originally built in the 1980s and is located in North New Brighton. It is a freehold title situated on a front section that is flat.

The dwelling is two storey with four bedrooms and two bathrooms.

Internally, the property has heating that is provided by a wall mounted heat pump which is located in the dining room. The water system is heated by an electric hot water cylinder. The internal linings are plasterboard which are decorated with paint. The floors are chipboard or similar with floor coverings being vinyl and carpet.

The foundation system is a site-specific design for the era of construction, with the dwelling being of timber-framed construction. The exterior joinery is aluminium and is double-glazed. The property is clad with fibrous cement weatherboard with a paint coating. The roof is decramastic tin tiles. There is a garage, that is attached to the house, with double capacity, and internal access.

The driveway is concrete.

Generally, the property has a living aspect of north and includes hard landscaping that consists of timber decks and concrete pavers. Soft landscaping of lawn, gardens and trees.

BUILDING ELEMENTS

Type	Inspected
Roof system	
Pressed metal tiles	Limited access
Guttering, downpipes, fascia & soffits	Limited access
Exterior cladding	
Fibrous cement weatherboard (Horizontal)	Viewed
Exterior joinery	
Double-glazed aluminium joinery with timber reveals.	Viewed
Foundation	
Site-specific design for the era of construction	Limited access
Roof space	
Timber framed - roof	Limited access
Wall framing & non-invasive moisture testing	
Timber framed - wall	Examined
Interior linings	
Plasterboard ceiling and wall linings, timber trims and doors.	Viewed
Entrance	Viewed
Living room	Viewed
Kitchen	Viewed
Dining room	Viewed
Back entrance	Viewed
Bedroom 1	Viewed
Ensuite	Viewed
Hallway	Viewed
Bedroom 2	Viewed
Bedroom 3	Viewed
Study	Viewed
Bathroom	Viewed
Laundry	Viewed
Stairway	Viewed
Bedroom 4	Viewed
Garage	Viewed

ROOF SYSTEM

Pressed metal tile

Coating - Decramastic coated.

Condition of finish - Areas showing deterioration, refer to photos below.

Fixings - Nail, concealed and to the leading edge.

Corrosion, damage or dented - Damage or dented tiles visible, refer to the photos below.

Moss, mould or lichen - None visible at the time of the inspection.

Type of roof construction - Gable roof and Mono-pitch.

Pitch of roofs - 10 - 15 and over 45 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

Every effort will be made to safely conduct a thorough inspection, however, if certain areas are inaccessible, they will be observed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document all viewable areas for reference.

Recommendations:

Dented tin tiles should be promptly repaired or replaced, as the dents can compromise the protective coating of the tiles. This damage may lead to water ponding, which increases the risk of further deterioration and leaks. It is recommended to engage a Licensed Building Practitioner (LBP) specialising in roofing to carry out any necessary repairs or maintenance beyond the homeowner's expertise, ensuring the work is performed safely and effectively.

Maintenance recommendations:

To maintain the weathertightness of the building, it is important to follow the manufacturer's guidelines for regular maintenance of the roofing system. This may include periodic inspections to identify any signs of damage, such as dents or missing fixings, surface deterioration or leaks. Promptly addressing these issues can prevent further damage and protect the building from the elements.



Photo 4

North elevation of roof. Coating deterioration visible.



Photo 5

Dented roof tiles visible in some areas, repairs or replacement recommended.



Photo 6

Timber shingles over bay windows, monitor and maintain for weathertightness.



Photo 7

No flashing visible on external corner of timber shingles, further investigation recommended.



Photo 8

Timber shingles over bay windows,
maintenance recommended to maintain
for weathertightness.



Photo 9

North elevation of roof.



Photo 10

South elevation of roof.

Guttering

Type - External.

Material - uPVC.

Gutter guard - None.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Clear at time of inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - No - Minimum requirements are outlets at 12 m maximum intervals, giving a maximum gutter run of 6 m if regularly spaced (BRANZ).

Moss and or lichen visible on or in the guttering system - None visible at the time of the inspection.

Downpipes

Material - uPVC.

Fixings - Maintenance required.

Brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Spreaders - Recommend installation of spreaders.

Leakage, blockages - No visible issues at the time of the inspection.

Discharge - Risers.

Fascia & bargeboards

Material - Timber.

Finish - Paint.

Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion - No visible issues at the time of the inspection.

Soffit width from cladding to fascia - 300 - 400mm.

Eaves & soffit widths measured from the external face of wall cladding to the outer edge of the overhang, including the fascia.

Maintenance recommendations:

At the time of the inspection, the gutters were found to be clear. To maintain proper drainage, it is crucial to ensure gutters remain free of debris. Blocked gutters can result in water overflowing and accumulating on the roof or other parts of the building, potentially causing water damage, leaks, and structural issues. Regular maintenance, such as removing leaves, twigs, and other debris, prevents blockages and ensures efficient water flow away from the roof, protecting the building's integrity.



Photo 11
Gutters were clear at time of the inspection.



Photo 12
Secure downpipe to dropper on north elevation.



Photo 13
Typical fascia, gutter, soffit and downpipe.



Photo 14

Only one outlet on long run on south elevation.



Photo 15

Fascia, gutter, downpipe and soffit on north elevation.



Photo 16

Guttering and downpipe recommended for bedroom 4 dormer.

EXTERIOR CLADDING

Fibrous cement - type - Rusticated weatherboard, Hardiplank™.

Vented cavity - Directly fixed to the framing.

Finish - Painted.

Condition of finish - No visible issues.

Areas of moisture absorption - None visible.

Joints/ends - No visible issues.

Cracks/splits/breaks - None visible.

Facings and trims - Areas requiring maintenance, some gaps requiring sealing.

Soakers & jointers - Metal.

Ground clearance - No visible issues.

Seals around doors and windows - Sealing recommended.

The exterior cladding was only viewed from any visible ground-level location or from any deck or balcony on the outside of the dwelling.

Maintenance recommendations:

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below guttering and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.



Photo 17
North elevation of exterior cladding.



Photo 18
Northeast elevation of exterior cladding.



Photo 19
Seal any penetration holes.



Photo 20
South elevation of exterior cladding.



Photo 21
Southwest elevation of exterior cladding.



Photo 22
Trim recommended to gap between
bottom of windows and cladding.

EXTERIOR JOINERY

Double-glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - No visible issues at the time of inspection.

Aluminium - No visible issues at the time of the inspection.

Hardware - No visible issues at the time of inspection.

Tracks, drainage channels & weep-holes - Clear of debris.

Reveals - Timber.

Finish - Painted. No visible issues at the time of the inspection.

Damage - None visible at the time of the inspection.

Exterior flashings - Head flashings installed to some joinery, not all.

Scribers and/or seals - Require sealing.

Entrance doors - Timber door and frame.

Garage joinery - Single-glazed.

Defects - Refer to photos.



Photo 23
Typical window reveal.



Photo 24
Entrance door and frame.



Photo 25

Door to bedroom 3 opening onto deck.



Photo 26

Head flashing visible above windows and doors.



Photo 27

Bay window in living room.



Photo 28

Sealant or scribe recommended for window and cladding junction on bay window.



Photo 29

Double doors in bedroom 1.



Photo 30

Back entrance door and kitchen window.



Photo 31
Garage door and window.



Photo 32
Weatherseal recommended for bottom of garage door on south elevation.



Photo 33
No headflashing visible above bedroom 1 double doors.

FOUNDATION

The subfloor space was viewed via the manhole located in the bedroom 2 wardrobe.
The inspection was taken from the access hatch.

Please note this is a restricted access area for inspection due to current NZ legislation (Health & Safety at Work Act 2015). Every effort will be made to safely conduct a thorough inspection; however, if certain areas are inaccessible, they will be observed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document all viewable areas for reference.

Foundation type - Site-specific design for the era of construction.

Foundation wall - Timber framed, sheeting with vents installed.

Subfloor ventilation - Vents.

Piles - Precast concrete and timber.

Condition of piles - Limited visibility of subfloor structure, only line of sight viewed from the access point.

Sub-floor timbers, type and condition - Suspended timber floor. Limited visibility of subfloor structure, only line of sight viewed from the access point.

Flooring - type and condition - Particle board.

Insulation - Polyester.

Coverage - Acceptable.

Ground cover - Polythene - Tidy where visible.

Ground condition - Not visible below the dwelling due to the presence of the moisture barrier.

Underfloor Space - Tidy.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible.

Non-Electrical wiring - Aerial/Data - None visible.

Plumbing - Waste and water pipes visible.

Plumbing type - Glued uPVC and Copper.

Structural alterations - None visible.

Sub-floor Clearance - Where visible - 250 mm below the bearer.

The floor levels were checked using a self-levelling laser.

Concrete slab surface level - Within 6 months of new, BRANZ suggests concrete slabs be level to within ± 10 mm of the specified floor level in any one room or space.

The maximum permitted surface deviation is ± 3 mm in any 3 m of length.

NZS 3109-1987 IN SITU CONSTRUCTION

The property had an overall level difference of approximately 20mm (where measured) with a self-levelling laser. This is not a floor level survey and only a spot-check.

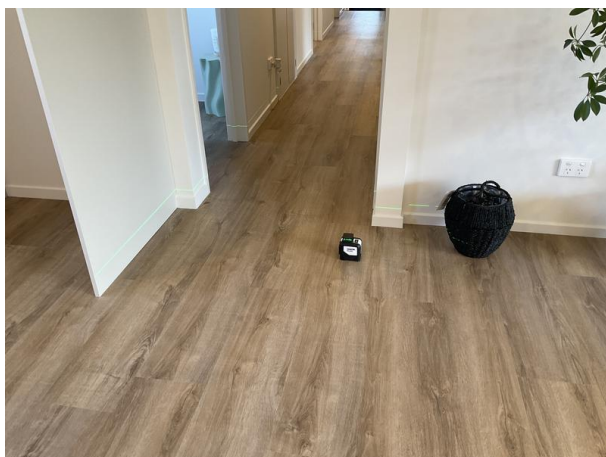


Photo 34

Floor levels were checked using a self-levelling laser.



Photo 35

Subfloor, concrete piles connected to timber bearers and joists with polyester insulation. Plumbing and waste pipes visible under bathroom.



Photo 36

Timber piles and bearers visible.



Photo 37

Subfloor, timber packers and pile to bearer connection visible.

ROOF SPACE

The ceiling space was viewed from located in the bedroom 4 wardrobe. Access hatch size - 600 x 1800mm.

Every effort will be made to safely access and inspect the roof space, however, if certain areas are inaccessible, they will be assessed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document visible areas for reference. It is important to note that not all parts of the roof structure may be visible during the inspection. The primary objective is to identify any significant defects observable through a visual assessment of accessible areas.

Roof frame construction and connections - Manufactured timber trusses. Connections were not all visible.
Condition - No issues visible.

Roofing underlay - Bituminous self-supporting paper. Condition - No visible issues.

Structural alterations - Yes.

Ceiling construction - Timber ceiling battens visible.

Vermin and insects - No visible signs during the inspection.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible.

Non-Electrical wiring - Aerial/Data - Visible - Unsupported.

Plumbing - All pipework sighted is in a tidy order. Lagging and Header tank. No visible leaks.

Plumbing type - Lagged, so not visible.

Insulation - Glass wool.

Thickness of insulation visible - Over 200mm. Areas missing insulation.

Coverage - Segments - Must be fitted tightly between ceiling timbers - Fit insulation where required.

Discharges into the roof space - None.

Stored items - No.

Defects - Refer to photos.

Recommendations:

Regular checks for pest activity, and ensuring insulation is in place.

Certain areas of the property are currently missing insulation, which can compromise the overall energy efficiency and comfort of the home. It is recommended to install insulation in these areas to improve thermal performance, reduce energy consumption, and maintain a consistent indoor temperature. Proper insulation will also contribute to a healthier and more comfortable living environment. Ensure that the installation is carried out in accordance with current standards and guidelines by a qualified professional.

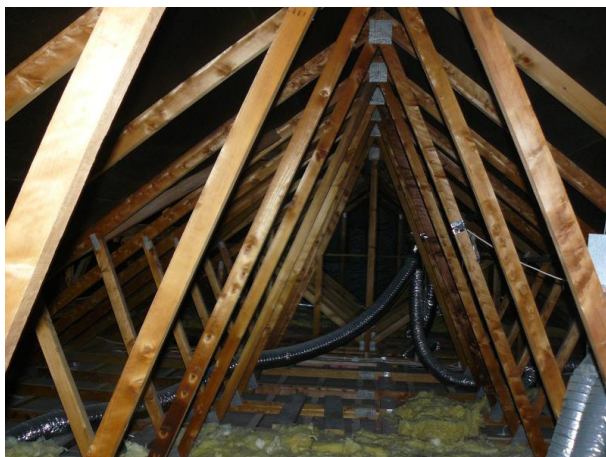


Photo 38

Manufactured timber trusses with glasswool insulation.



Photo 39
Timber trusses with bituminous roofing underlay.

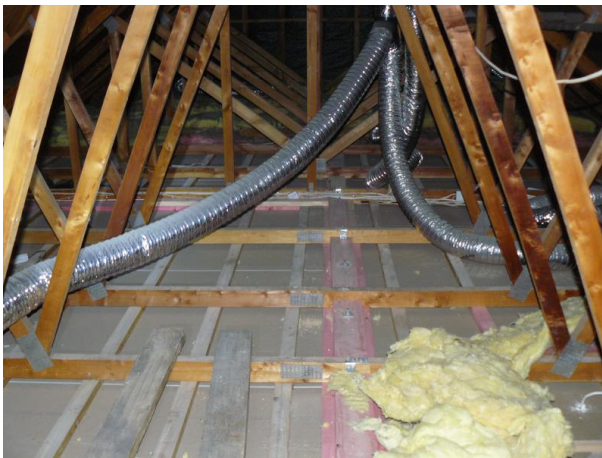


Photo 40
No insulation over kitchen and living room area.



Photo 41
Header tank at apex of roof space.



Photo 42

Ventilation unit in roof space.

WALL FRAMING & NON-INVASIVE MOISTURE TESTING

Trotec T660 Moisture Metre is used for the testing of moisture levels in the dwelling. At the time of the inspection internal surface moisture test were completed, this was consistent throughout the house with no abnormalities.

The measured values are only to be interpreted as indicators (dry, damp, wet).

0 to 50 = Dry

50 to 80 = Damp

Higher than 80 = Wet

The condition of the timber framing is unknown.

No indications of elevated moisture readings were detected. 'Supplementary' moisture testing photos are a representative sample of the comprehensive testing conducted.



Photo 43

Supplementary photo.



Photo 44

Supplementary photo.

INTERIOR LININGS

Plasterboard ceiling and wall linings with a paint finish, timber trims and doors with a paint finish, carpet and vinyl floor coverings.

The inspection and resulting report are not intended to comprehensively identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

Entrance

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Entrance door - Timber door and frame.

Internal doors - Solid timber.

Floor coverings - Vinyl planking.

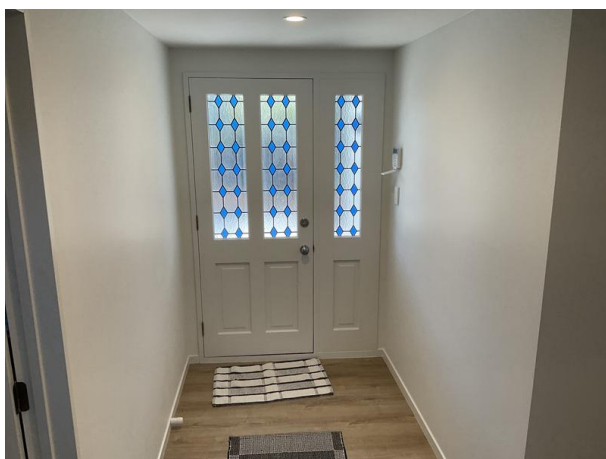


Photo 45
Entrance.

Living room

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Not applicable.

Floor coverings - Vinyl planking.



Photo 46
Living room.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Not applicable.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Manufactured stone.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Splashback - Tiled - Sealed edge.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - uPVC waste and braided wire.

Heat shield - Tiled.

Cooktop - Induction - Not checked. Unable to test induction top, powered on only.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Garbage disposal - Not applicable.

Floor coverings - Vinyl planking.

Dishwasher - Functional - Yes. Powered on only, not run through a cycle.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 47
Kitchen.

Dining room

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Not applicable.

Floor coverings - Vinyl planking.

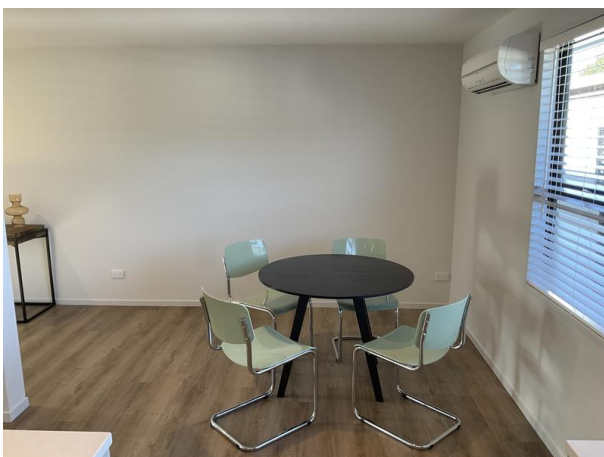


Photo 48
Dining room.

Back entrance

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Entrance doors - Timber door and frame.

Internal doors - Hollow core.

Floor coverings - Vinyl planking.



Photo 49
Back entrance.

Bedroom 1

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Walk-in wardrobe - Door - Hollow core.



Photo 50
Bedroom 1.

Ensuite

Ceiling linings - Plasterboard - Paint finished.
Ceiling wall junction - Square stopped.
Wall linings - Plasterboard - Paint finished.
Exterior joinery - Aluminium - Double-glazed - Safety glass - Painted timber reveals.
Internal doors - Hollow core.
Floor covering - Vinyl planking.
Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.
Single or dual flush - Dual.
Vanity - Wall mounted.
Taps and waste - Functional - Yes.
Leakage - None visible at the time of the inspection.
Type of plumbing - uPVC waste and braided wire.
Splashback - Tiled - Sealed edge.
Bath - Inbuilt (enclosed cradle).
Taps and waste functional - Yes.
Shower - Over bath.
Glass type - Safety.
Shower pressure - Adequate.
Water hammer - No noise or vibration noted.
Leaks from shower fittings - No.
Mechanical ventilation - Functional - Yes. Externally vented - Yes.
Heating - Yes.
Heated towel rail - Yes.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

The statement regarding the shower pressure (adequate or inadequate) reflects the inspector's opinion based on the pressure observed during the inspection and is subjective to the inspector's judgment.



Photo 51
Ensuite.

Hallway

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Not applicable.

Internal doors - Hollow core.

Floor coverings - Vinyl planking.

Cupboards - 2 x Double - Doors - Panel.

Defects - Refer to photos.

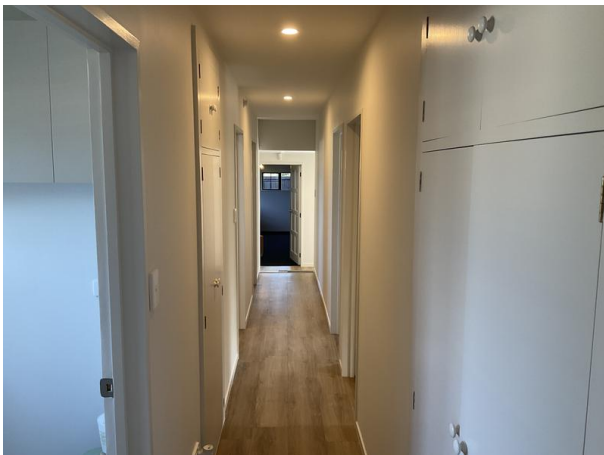


Photo 52
Hallway.

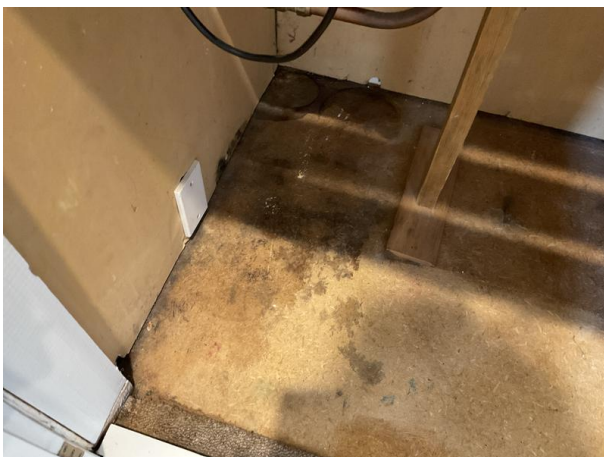


Photo 53
Moisture staining visible under HWC. Dry at the time of the inspection.

Bedroom 2

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Double - Doors - Panel.



Photo 54
Bedroom 2.

Bedroom 3

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Triple - Doors - Panel.



Photo 55
Bedroom 3.

Study

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.



Photo 56
Study.

Bathroom

Ceiling linings - Plasterboard - Paint finished.
Ceiling wall junction - Scotia.
Wall linings - Plasterboard and timber - Paint finished.
Wall defects - Cosmetic issues.
Exterior joinery - Aluminium - Double-glazed - Safety glass - Painted timber reveals.
Internal doors - Hollow core.
Floor covering - Vinyl planking.
Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.
Single or dual flush - Dual.
Vanity - Wall mounted.
Taps and waste - Functional - Yes.
Leakage - None visible at the time of the inspection.
Type of plumbing - uPVC waste and braided wire.
Splashback - Tiled - Sealed edge.
Bath - Not applicable.
Shower - Enclosure. No visible moisture issues.
Glass type - Safety.
Shower pressure - Adequate.
Water hammer - No noise or vibration noted.
Leaks from shower fittings - No.
Mechanical ventilation - Functional - Yes. Externally vented - Yes.
Heating - Yes.
Heated towel rail - Yes.
Defects - Refer to photos.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

The statement regarding the shower pressure (adequate or inadequate) reflects the inspector's opinion based on the pressure observed during the inspection and is subjective to the inspector's judgment.



Photo 57
Bathroom.

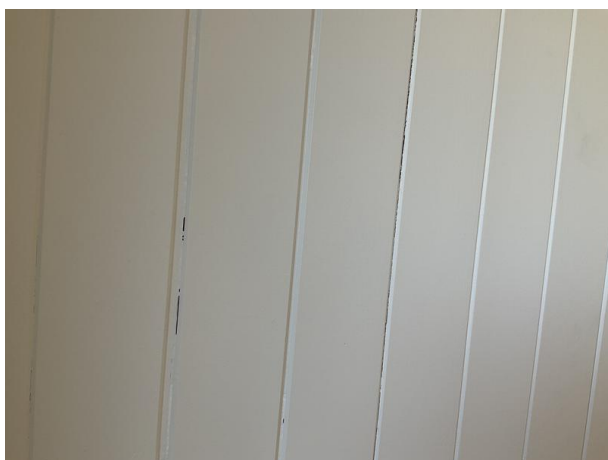


Photo 58
Cosmetic issues to wall.

Laundry

Ceiling linings - Plasterboard - Paint finished.
Ceiling wall junction - Square stopped.
Wall linings - Plasterboard - Paint finished.
Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.
Internal doors - Hollow core.
Floor coverings - Vinyl planking.
Laundry tub/sink - Powder-coated metal cabinet with a stainless steel tub. Not secured in place.
Taps & waste - Functional - Yes.
Leaks - None visible at the time of the inspection.
Type of plumbing - uPVC waste and braided wire.
Washing machine discharge - To the waste under the sink.
Water hammer - No noise or vibration noted.
Ventilation - Opening door or window. Mechanical - None.

Recommendations:

Secure laundry tub to the floor or wall. An unsecured laundry tub can lead to damage of waste pipes causing leaks and subsequent damages.



Photo 59
Laundry.

Stairway

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Safety glass - Painted timber reveals.

Type of stairs - Closed.

Construction material - Timber.

Handrail - Secure.

Height of handrail - Over 1000 mm.

Internal doors - Hollow core.

Floor coverings - Carpet.



Photo 60
Stairway.

Bedroom 4

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Single - Door - Hollow core.



Photo 61
Bedroom 4.

Garage

Ceiling linings - Plasterboard and None - Paint finished.

Ceiling wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - and Timber - Single-glazed - Standard glass - Painted timber reveals.

Garage door - Sectional - Double - Steel - Not insulated - Automatic opener functional - Yes.

Internal doors - Solid timber.

Floor coverings - Carpet.

Cupboards - Not applicable.

Defects - Refer to photos.



Photo 62
Garage.



Photo 63
Unusual connection between truss and beam. Monitor.



Photo 64
Gap visible under back garage door.
Weatherseal recommended.



Photo 65
Cosmetic damage to window reveal.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

Driveway	Concrete
Boundary Fences	Timber
Paths	Concrete
Deck	Timber
Electrical	Electrical system
Plumbing, Drainage & Sewerage	Hot water, water supply, gully-traps and stormwater risers
Heating	Heat pump
Ventilation	Ventilation system
Services	Data, smoke detection, aerals and security

DRIVEWAY

Coloured concrete.
Cracking - None visible.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 66
Concrete driveway.

BOUNDARY FENCES

Painted timber palings fixed to timber rails with timber posts.

Condition of cladding - No visible issues.

Alignment - No visible issues.

Post and rail condition - No visible issues.

Average height - 1.8 metres.

Recommendations:

Ensure regular upkeep and maintenance by keeping vegetation and soil away from exterior timbers. These timbers are treated for external exposure but are not designed for prolonged contact with vegetation or soil, which can trap moisture and accelerate rot. Periodically inspect the area and clear any overgrowth or soil buildup.

Upkeep of paint finish



Photo 67
South boundary fence.



Photo 68
West boundary fence.

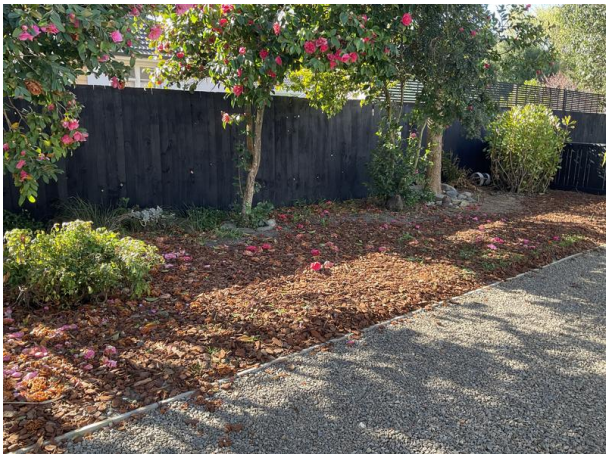


Photo 69
North boundary fence.



Photo 70
East boundary fence.

PATHS

Plain concrete pavers.
Condition - Level.

Recommendations:

General upkeep and maintenance.

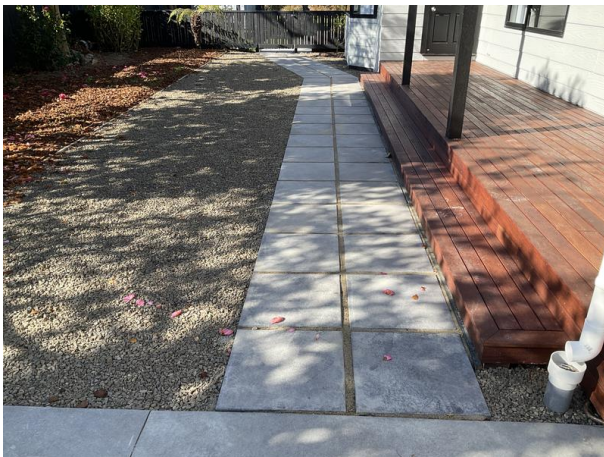


Photo 71
Concrete paved path along north elevation.

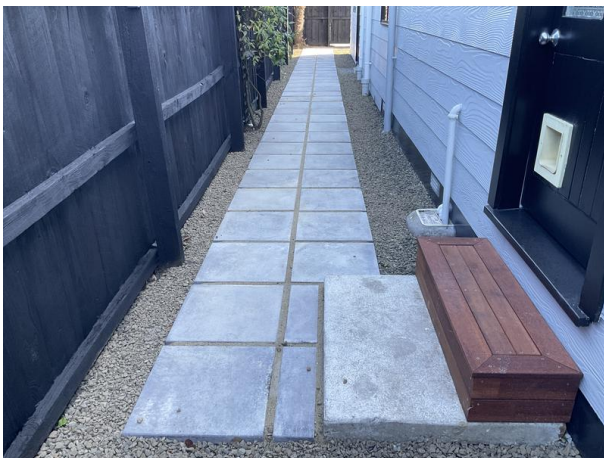


Photo 72
Concrete paved path along south elevation.

DECK

Hardwood timber deck over timber substrate with screw fixings.
Connected to dwelling - Yes.
Condition of visible timbers - No visible deterioration of timbers.
Defects - None visible at the time of the inspection.

Recommendations:

General upkeep and maintenance.



Photo 73

Timber deck on north elevation under verandah.



Photo 74

Timber deck on north elevation access from bedroom 1 and back entrance.

ELECTRICAL

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - All sockets and light switches tested were operational.

Distribution board location - Laundry.

Earth stake - Location - On the south side of the dwelling.

Metre box - Location - On the south side of the dwelling.

Electrical connection - Underground supply.



Photo 75
Switchboard in laundry.



Photo 76
Switchboard needs to be closed, have an electrician rectify.



Photo 77
Meter box on south elevation.



Photo 78
Earth stake connection on south elevation.



Photo 79
All accessible socket were tested.

PLUMBING, DRAINAGE & SEWERAGE

Gully traps and stormwater risers.

Sewerage Disposal - Council sewer.

Water source - Town supply. The water toby is located centrally on the west boundary.

Water heating

Type - Low pressure electric cylinder.

Capacity - 180L.

Manufacture/installation date - 1983-4.

Seismic bracing - Secure in place with shelving.

Area serviced - Entire house.

Any visible defects - None visible.

Recommendations:

Maintain a clear area around drainage systems by ensuring vegetation and soil are kept away. This helps to prevent blockages, maintain proper water flow, and reduce the risk of water pooling or drainage failure. Regularly inspect and remove any overgrowth or debris that may obstruct the drainage.



Photo 80
HWC in hallway cupboard.

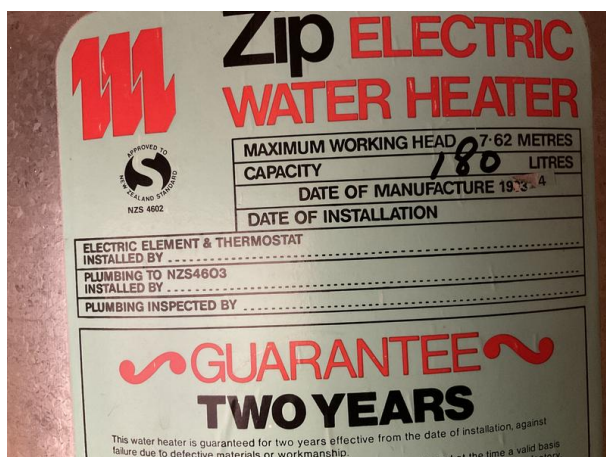


Photo 81
HWC label, date and size.



Photo 82
Water filters on west boundary.



Photo 83
Toby box is located centrally on the west boundary.



Photo 84
Stormwater riser and downpipe.



Photo 85
Ensuite gully trap. Grate recommended.



Photo 86
Kitchen gully trap.



Photo 87
Bathroom and laundry gully trap.



Photo 88

Stormwater risers and downpipes.

HEATING

Heat pump - Power connected at the time of inspection, full operation not tested.

Manufacturer - Fujitsu.

Location - Dining room.

Kilowatt rating - Heating - 4.8kW - Cooling - 3.5kW

Recommendations:

Follow the manufacturer's recommended servicing schedule to ensure the equipment operates efficiently and maintains optimal performance. Adhering to these guidelines helps identify and address potential issues early, reducing the risk of costly repairs and ensuring compliance with warranty requirements.

Maintenance recommendations:

Regularly clean the filters of your heat pump to maintain optimal performance. The frequency of cleaning depends on the unit's location and usage, typically ranging from every 4 to 12 weeks. Units placed in areas with higher dust or debris accumulation may require more frequent cleaning, while those in cleaner environments may need less frequent maintenance. This ensures efficient operation.



Photo 89

Heat pump inside unit in dining room.



Photo 90

Heat pump outside unit.

VENTILATION

Ventilation system
Manufacturer - HRV.

Recommendations:

Ventilation system filters should be inspected annually and replaced periodically or as required by the manufacturer.



Photo 91
HRV controller in hallway.



Photo 92
Ventilation system vent on ceiling.

SERVICES

Services/systems tested.

Fire warning & control systems - Tested - No.
Heating systems - Tested - No.
Central vacuum systems - Not applicable.
Ventilation systems - Operating at the time of inspection.
Heat transfer system - Not applicable.
Security systems - Tested - No.
Security cameras - Not applicable.
Electricity services - Tested - Yes.
Gas services - Not applicable.
Gas bottle storage - Not applicable.
Water services - Tested - Yes.
Hot water services - Tested - Yes.
Foul water services - Tested - Yes.
Grey water recycling system - Not applicable.
Rainwater recycling system - Not applicable.
Solar heating - Not applicable.
Solar power/panels/inverter - Not applicable.
Aerials & antennae - Tested - No.
Shading systems - Not applicable.
Telecommunications - Not applicable.
Lifts - Disabled access - Not applicable.
Water pump - Not applicable.
Water filters - Tested - No.
Stormwater soak pits - Not applicable.
Distribution board - Tested - No.
Header tank - Tested - No.
Communications hub - Not applicable.
Automatic garage door opener - Tested - Yes.
Ceiling fan - Not applicable.

Recommendations:

All building services should be regularly tested, serviced, and maintained by appropriately certified professionals in accordance with the manufacturer's specifications and guidelines. This ensures optimal performance, safety, and longevity of the systems while reducing the risk of malfunctions or failures.

Regular checks to ensure smoke detectors are functional.

To ensure that your alarm system is functioning optimally, it is recommended to follow the manufacturer's maintenance advice. Additionally, on a monthly basis, you should check the alarm still works by pressing the test facility located on the outside of the device. Replace dead batteries immediately and gently vacuum the dust that gathers on the device. Do not take the alarm apart or off its mount to do this.



Photo 93
Garage door opener operational.



Photo 94
Security key pad in entrance.



Photo 95
TV aerial on east elevation.



Photo 96
Internet connection on south elevation.



Photo 97
Security box in roof space.

CONCLUSION

Overall Condition Rating Explanation

In this report, the overall condition of the property is classified as Below Average, Average, or Above Average. These terms are used to provide a general summary of the home's condition at the time of inspection.

- Below Average: The property has notable issues such as deferred maintenance, structural problems, weathertight or other significant concerns that may require attention.
- Average: This rating applies to the majority of homes. It refers to a property that is generally sound, with no major issues, though it may show signs of wear, dated finishes, or minor deferred maintenance consistent with age and use.
- Above Average: Reserved for a small number of homes (approximately 1%), this rating is given to properties that are in exceptional condition. These homes typically present as near-new or exceptionally well-maintained, with no visible issues or defects.

These classifications are intended to provide context and comparison, rather than to reflect personal value judgments.

Please note: This building inspection report has been carried out in accordance with NZS 4306:2005 – Residential Property Inspection. It is not a Healthy Homes Assessment and does not assess the property against all the specific requirements of the Healthy Homes Standards. Additionally, the inspection does not confirm full compliance with current building codes or standards, as it is limited to a visual, non-invasive assessment of the condition of the building at the time of inspection.

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the BCA: Building Consent Authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

It is important to carry out regular maintenance on a dwelling to identify and rectify minor problems before they become major, and to maintain weathertightness.

Relevant trade people, such as painters and carpenters should be engaged to remediate works that are outside of the homeowner's skill level, to any areas as deemed required.

Should any issues arise, ensure they are remediated quickly to safeguard against further consequential issues.

There are areas as noted within the report where maintenance is recommended.

The construction period of the building falls within the era when buildings were constructed using products that contained asbestos and lead-based paint. The products can pose a health risk if handled without due care or asbestos-containing materials are in a deteriorated state.

The property is in a condition that would be expected for the age and location.